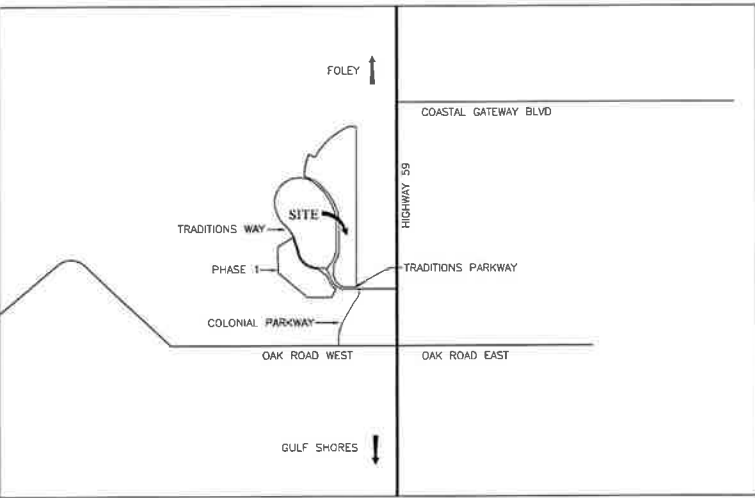


ILLUSTRATIVE MASTER PLAN
COLONIAL TRADITIONS PHASE 2
PLANNED UNIT DEVELOPMENT
TRADITIONS WAY
GULF SHORES, AL

Colonial Traditions, Phase 2

A Resubdivision of Lot 3,
Colonial Traditions,
Into 50 Residential Lots
Gulf Shores, Alabama

Preliminary Plat



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- THIS PLAT REDESIGNS, SUPERSEDES, AND REPLACES LOT 3 COLONIAL TRADITIONS SUBDIVISION, SLIDE 2382-E.
- RECORD DIMENSIONS BASED ON PLAT OF SUBDIVISION RECORDED ON SLIDE 2382-E IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.
- LOTS 21-20 SHALL NOT HAVE DIRECT ACCESS TO TRADITIONS WAY. LOTS SHALL ACCESS VIA WILD LOOP AND ALLEYS.
- STORMWATER MANAGEMENT AREAS ARE NOT THE RESPONSIBILITY OF THE CITY OF GULF SHORES TO MAINTAIN.
- THERE IS A DEDICATED DRAINAGE, UTILITY AND MAINTENANCE EASEMENT OVER THE ENTIRETY OF COMMON AREA #5.
- THERE IS A DEDICATED HERETIN A 15' DRAINAGE AND UTILITY EASEMENT ADJACENT TO THE RIGHT-OF-WAY, AND A 5' DRAINAGE AND UTILITY EASEMENT ALONG THE SIDE AND REAR LOT LINES FOR LOTS 1-20. EASEMENT LINES MATCH THE SETBACK LINES.
- THE PROPERTY SHOWN HEREON IS IN ZONE "S" ACCORDING TO THE MAP PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBERS 0100000030A, AND 0100000030B, CITY OF GULF SHORES, ALABAMA, DATED 4/19/2018.
- THIS DRAWING AND DESCRIPTION DOES NOT REFLECT ANY TITLE OR EASEMENT RESEARCH OTHER THAN WHAT IS VISIBLE OR PROVIDED BY THE CLIENT'S CONVEYANCE. SETBACK LINES ESTABLISHED BY STATUTE, ORDINANCE OR RESTRICTIVE COVENANTS ARE NOT SHOWN.
- THIS DRAWING IS THE PROPERTY OF SMITH, CLARK & ASSOCIATES. IT IS SOLELY FOR THE USE OF THE CLIENT NAMED HEREON AND IS NONTRANSFERABLE TO ANY OTHER PARTY. IT MAY NOT BE USED WITHOUT PRIOR CONSENT FROM SMITH, CLARK & ASSOCIATES.
- THIS DRAWING IS TO SCALE WHEN PRINTED ON 24X36 PAPER IN LANDSCAPE VIEW WITH NO SCALING.
- BY APPROVAL OF THIS PLAT, THE PLANNING COMMISSION OF THE CITY OF GULF SHORES, WIVES NO REPRESENTATION OF WARRANTY, EITHER EXPRESSED OR IMPLIED, THAT ANY LOT DELINEATED ON THIS PLAT WHICH MAY BE ENCUMBERED BY ANY INTERESTS IS OR WILL BE SUITABLE FOR IMPROVEMENT OR OTHER DEVELOPMENT. PURCHASERS ARE ON NOTICE THAT IMPROVEMENT OF PROPERTY ENCUMBERED BY INTERESTS WILL REQUIRE SEPARATE PERMITTING BY FEDERAL AND/OR STATE AUTHORITIES UNDER SUCH LAW AND REGULATIONS CONCERNING INTERESTS AS MAY BE IN EFFECT FROM TIME TO TIME.
- MAINTENANCE OF PRIVATE ALLEYS WILL BE ADEQUATELY AND CONTINUOUSLY FINANCED BY ASSESSMENTS AGAINST ADJACENT PROPERTIES ESTABLISHED BY COVENANTS AND ADMINISTERED THROUGH A HOME OWNERS ASSOCIATION.
- LAND OUTSIDE THE NORMAL RIGHT OF WAY SHALL REVERT TO THE ADJUTING PROPERTIES WHENEVER THE STREET IS CONTINUED AND CONNECTED TO THE ADJACENT PROPERTY. THE PLANNING COMMISSION MAY LIMIT THE LENGTH THE LENGTH OF SUCH TEMPORARY DEAD-END STREETS IN ACCORDANCE WITH THE DESIGN STANDARDS OF THESE REGULATIONS.

COLONIAL TRADITIONS, PHASE 2, A RESUBDIVISION OF LOT 3, COLONIAL TRADITIONS, SUBJECT TO THE FOLLOWING ACCESS EASEMENTS:

EASEMENT 1:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 3, COLONIAL TRADITIONS, AS RECORDED ON SLIDE 2382-E IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE ALONG THE EAST LINE OF SAID LOT NORTH 00°22'30" EAST A DISTANCE OF 333.40 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE ALONG THE SAID EAST LINE NORTH 00°03'30" WEST A DISTANCE OF 322.77 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE CONTINUE ALONG SAID EAST LINE NORTH 00°03'30" WEST A DISTANCE OF 50.07 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE DEPARTING SAID EAST LINE SOUTH 86°58'03" WEST A DISTANCE OF 0.91 FEET TO THE POINT OF CURVATURE OF A 15.00' RADIUS CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 0.77 FEET (CHORD BEARS SOUTH 88°27'47" WEST, 0.77) TO A POINT; THENCE SOUTH 89°56'30" WEST A DISTANCE OF 58.18 FEET TO THE POINT OF BEGINNING OF THE EASEMENT HEREIN DESCRIBED; THENCE CONTINUE SOUTH 89°56'30" WEST A DISTANCE OF 40.29 FEET TO A POINT ON A NON-TANGENTIAL 23.00' RADIUS CURVE TO THE LEFT; THENCE NORTHEASTWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 15.89 FEET (CHORD BEARS NORTH 19°28'58" EAST, 15.39) TO A POINT; THENCE NORTH 00°03'30" WEST A DISTANCE OF 24.00 FEET TO A POINT; THENCE NORTH 89°56'30" EAST A DISTANCE OF 30.00 FEET TO A POINT; THENCE SOUTH 00°03'30" EAST A DISTANCE OF 24.00 FEET TO THE POINT OF CURVATURE OF A 23.00' RADIUS CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 15.69 FEET (CHORD BEARS SOUTH 19°35'58" EAST, 15.39) TO THE POINT OF BEGINNING.

EASEMENT 2:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 3, COLONIAL TRADITIONS, AS RECORDED ON SLIDE 2382-E IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE ALONG THE SOUTH LINE OF SAID LOT 3 SOUTH 89°35'59" WEST A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID SOUTH LINE NORTH 00°22'30" EAST A DISTANCE OF 333.50 FEET TO A POINT; THENCE NORTH 00°03'30" WEST A DISTANCE OF 802.73 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 89°56'30" WEST A DISTANCE OF 140.02 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 89°56'30" WEST A DISTANCE OF 142.78 FEET TO THE POINT OF CURVATURE OF A NON-TANGENTIAL 750.00' RADIUS CURVE TO THE RIGHT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTHWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 20.02 FEET (CHORD BEARS SOUTH 03°38'04" EAST, 20.02) TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE NORTH 03°45'00" EAST A DISTANCE OF 142.81 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE NORTH 89°56'30" EAST A DISTANCE OF 114.94 FEET TO THE POINT OF CURVATURE OF A 4.00' RADIUS CURVE TO THE RIGHT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTHEASTWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 6.28 FEET (CHORD BEARS SOUTH 45°03'30" EAST, 5.66) TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 00°03'30" EAST A DISTANCE OF 322.00 FEET TO THE POINT OF CURVATURE OF A 4.00' RADIUS CURVE TO THE RIGHT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTHWESTWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 6.28 FEET (CHORD BEARS SOUTH 44°56'30" WEST, 5.66) TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 89°56'30" WEST A DISTANCE OF 255.74 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 00°04'30" EAST A DISTANCE OF 18.99 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE NORTH 89°56'30" EAST A DISTANCE OF 255.23 FEET TO THE POINT OF CURVATURE OF A 4.00' RADIUS CURVE TO THE RIGHT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTHEASTWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 6.28 FEET (CHORD BEARS SOUTH 45°03'26" EAST, 5.66) TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 00°03'30" EAST A DISTANCE OF 322.48 FEET TO THE POINT OF CURVATURE OF A 4.00' RADIUS CURVE TO THE RIGHT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 89°56'30" WEST A DISTANCE OF 114.06 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE NORTH 79°00'00" WEST A DISTANCE OF 187.51 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR) ON A NON-TANGENTIAL 450.00' RADIUS CURVE TO THE RIGHT; THENCE SOUTHWESTWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 20.74 FEET (CHORD BEARS SOUTH 26°19'36" WEST, 20.74) TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 79°00'00" EAST A DISTANCE OF 201.07 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 46°47'04" EAST A DISTANCE OF 174.10 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE SOUTH 00°22'30" WEST A DISTANCE OF 282.78 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE NORTH 89°35'59" EAST A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT COMMON AREA #9 BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 3, COLONIAL TRADITIONS, AS RECORDED ON SLIDE 2382-E IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA; THENCE ALONG THE SOUTH LINE OF SAID LOT 3 SOUTH 89°35'59" WEST A DISTANCE OF 30.00 FEET TO A POINT MARKED BY A CAPPED IRON ROD (REBAR); THENCE DEPARTING SAID SOUTH LINE NORTH 00°22'30" EAST A DISTANCE OF 322.78 FEET TO THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED; THENCE CONTINUE NORTH 00°22'30" EAST A DISTANCE OF 9.91 FEET TO A POINT; THENCE NORTH 00°03'30" EAST A DISTANCE OF 74.17 FEET TO THE POINT OF CURVATURE OF A NON-TANGENTIAL 8.00' RADIUS CURVE TO THE LEFT; THENCE NORTHEASTWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 12.57 FEET (CHORD BEARS NORTH 45°03'30" WEST, 11.31) TO A POINT; THENCE SOUTH 89°56'30" WEST A DISTANCE OF 71.88 FEET TO THE POINT OF CURVATURE OF A 4.00' RADIUS CURVE TO THE LEFT; THENCE SOUTHWESTWARDLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 9.13 FEET (CHORD BEARS SOUTH 24°34'13" WEST, 7.27) TO A POINT; THENCE SOUTH 46°47'04" EAST A DISTANCE OF 116.18 FEET TO THE POINT OF CURVATURE OF A 4.00' RADIUS CURVE TO THE LEFT; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 9.69 FEET (CHORD BEARS NORTH 89°47'53" EAST, 7.49) TO THE POINT OF BEGINNING, CONTAINING 4,504 SQUARE FEET (0.163 ACRES) MORE OR LESS.

THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS" OF COLONIAL TRADITIONS PHASE 2, A RESUBDIVISION OF LOT 3, COLONIAL TRADITIONS SUBDIVISION ARE RECORDED IN

INSTRUMENT # _____, BALDWIN COUNTY, ALABAMA.

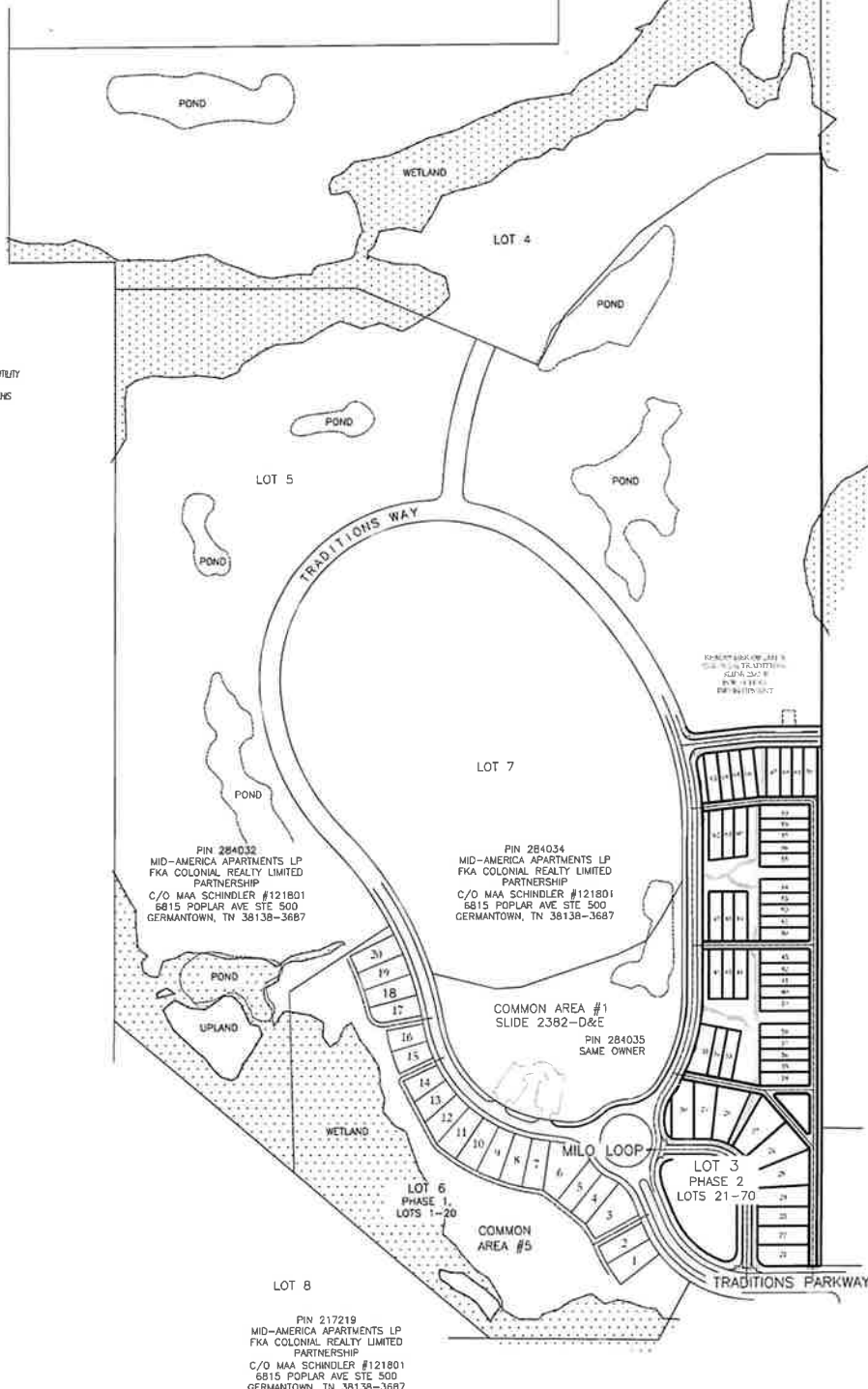
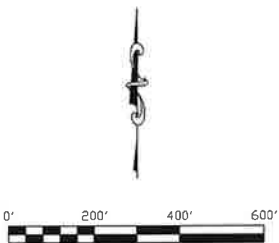
BALDWIN COUNTY
ALABAMA

LOT 3, COLONIAL TRADITIONS SUBDIVISION AS RECORDED ON SLIDE 2382-E IN THE OFFICE OF THE JUDGE OF PROBATE, BALDWIN COUNTY, ALABAMA.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

DANIEL D. CLARK ALABAMA LICENSE # 27720

DATE



SHEET INDEX

SHEET 1	COVER
SHEET 2	LOTS 21-30
SHEET 3	LOTS 31-54
SHEET 4	LOTS 55-70

LICENSED ENGINEER'S CERTIFICATION OF APPROVAL

I, _____, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ALABAMA WITH A

LICENSE NUMBER OF _____, HEREBY CERTIFY THAT I HAVE DESIGNED THE IMPROVEMENTS SHOWN ON THIS PLAT IN CONFORMANCE WITH APPLICABLE CODES AND LAWS, THE PRINCIPLES OF GOOD ENGINEERING PRACTICE, AND THE DRAINAGE DESIGN REQUIREMENTS OF THE CITY OF GULF SHORES OR BALDWIN COUNTY, AS APPLICABLE. I FURTHER CERTIFY THAT I HAVE INSPECTED THE CONSTRUCTION AND FIND THAT IT CONFORMS TO THE DESIGNED IMPROVEMENTS SHOWN ON THIS PLAT.

ENGINEER _____ DATE _____
FROM _____

CERTIFICATION OF APPROVAL BY POWER UTILITIES

THE UNDERSIGNED, AS AUTHORIZED BY POWER UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF THE SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ OF _____, 20____.

CERTIFICATION OF APPROVAL BY BALDWIN EMC

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF THE SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ OF _____, 20____.

CERTIFICATION OF APPROVAL BY THE BALDWIN COUNTY E-911 ADDRESSING

THE UNDERSIGNED, AS AUTHORIZED BY THE BALDWIN COUNTY E-911 BOARD, HEREBY APPROVES THE ROAD NAMES AS DEPICTED ON THE WITHIN PLAT AND HEREBY APPROVES THE WITHIN PLAT FOR RECORDING OF THE SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE _____ OF _____, 20____.

THIS _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION OF THE CITY OF GULF SHORES, ALABAMA

APPROVED BY THE CITY OF GULF SHORES PLANNING COMMISSION, BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING COMMISSION OF THE CITY OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THE PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFRATNELY DISCLAIMED.

THIS _____ DAY OF _____, 20____.

CERTIFICATE OF APPROVAL BY THE FIRE MARSHAL OF GULF SHORES, ALABAMA

APPROVED BY THE FIRE MARSHAL OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE FIRE MARSHALL OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFRATNELY DISCLAIMED.

THIS THE _____ OF _____, 20____.

AUTHORIZED REPRESENTATIVE

AUTHORIZED REPRESENTATIVE _____

OWNER

PIN 284033
MID-AMERICA APARTMENTS LP
C/O MAM SCHINDLER #121801
6815 POPLAR AVE STE 500
GERMANTOWN, TN 38138

PIN 284034
MID-AMERICA APARTMENTS LP
FKA COLONIAL REALTY LIMITED PARTNERSHIP
C/O MAM SCHINDLER #121801
6815 POPLAR AVE STE 500
GERMANTOWN, TN 38138-3687

PIN 217219
MID-AMERICA APARTMENTS LP
FKA COLONIAL REALTY LIMITED PARTNERSHIP
C/O MAM SCHINDLER #121801
6815 POPLAR AVE STE 500
GERMANTOWN, TN 38138-3687

PIN 284035
SAME OWNER

PIN 284036
SAME OWNER

PIN 284037
SAME OWNER

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SAME OWNER

PIN 284050
SAME OWNER

ACKNOWLEDGEMENT OF OWNERSHIP AND DEEDATION

THIS IS TO CERTIFY THAT _____, THE UNDERSIGNED, AS AN AUTHORIZED REPRESENTATIVE OF MID-AMERICA APARTMENTS LP FKA COLONIAL REALTY LIMITED PARTNERSHIP, THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE PLAT, AND I/WE, CERTIFY AT THE TIME OF FINAL PLAT THAT THE PROPERTY HAS NOT BEEN CONVEYED OR MORTGAGED SUBSEQUENT TO THE DATE OF THE TITLE DOCUMENT, AND I/WE HAVE CAUSED THE LAND IMPROVED WITHIN THIS PLAT TO BE SURVEYED, STAKED, AND PLATTED TO BE KNOWN AS COLONIAL TRADITIONS, PHASE 2, A PART OF SECTION 29, BALDWIN COUNTY, ALABAMA, AND THAT THE (STREETS, DRIVES, ALLEYS, EASEMENTS, ETC.) AS SHOWN ON SAID PLAT ARE HEREBY DEDICATED USE BY THE PUBLIC OR ARE TO REMAIN AS PRIVATE.

DATED THIS _____ DAY OF _____, 20____.

AUTHORIZED REPRESENTATIVE _____

ACKNOWLEDGEMENT OF NOTARY PUBLIC

STATE OF _____

COUNTY _____

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN SAID STATE, HEREBY CERTIFY THAT _____

WHOSE NAME AS _____

OF _____, A _____, IS DEDICATED TO THE FOREGOING CONVEYANCE, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY, THAT, BEING INFORMED OF THE CONTENTS OF THE CONVEYANCE, HE, IN SUCH CAPACITY, AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID ENTITY.

GIVEN UNDER MY HAND THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

AUTHORIZED REPRESENTATIVE _____

AUTHORIZED REPRESENTATIVE _____

AUTHORIZED REPRESENTATIVE _____

AUTHORIZED REPRESENTATIVE _____

AUTHORIZED REPRESENTATIVE _____

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AUTHORIZED REPRESENTATIVE _____

AUTHORIZED REPRESENTATIVE _____

AUTHORIZED REPRESENTATIVE _____

AUTHORIZED REPRESENTATIVE _____



Physical Address: 11111 U.S. Hwy 90, Suite E, Gulf Shores, AL 36527 (251) 626-0404

Mailing Address: 36941 Mill Lane, Suite E, Gulf Shores, AL 36527 (251) 626-0404

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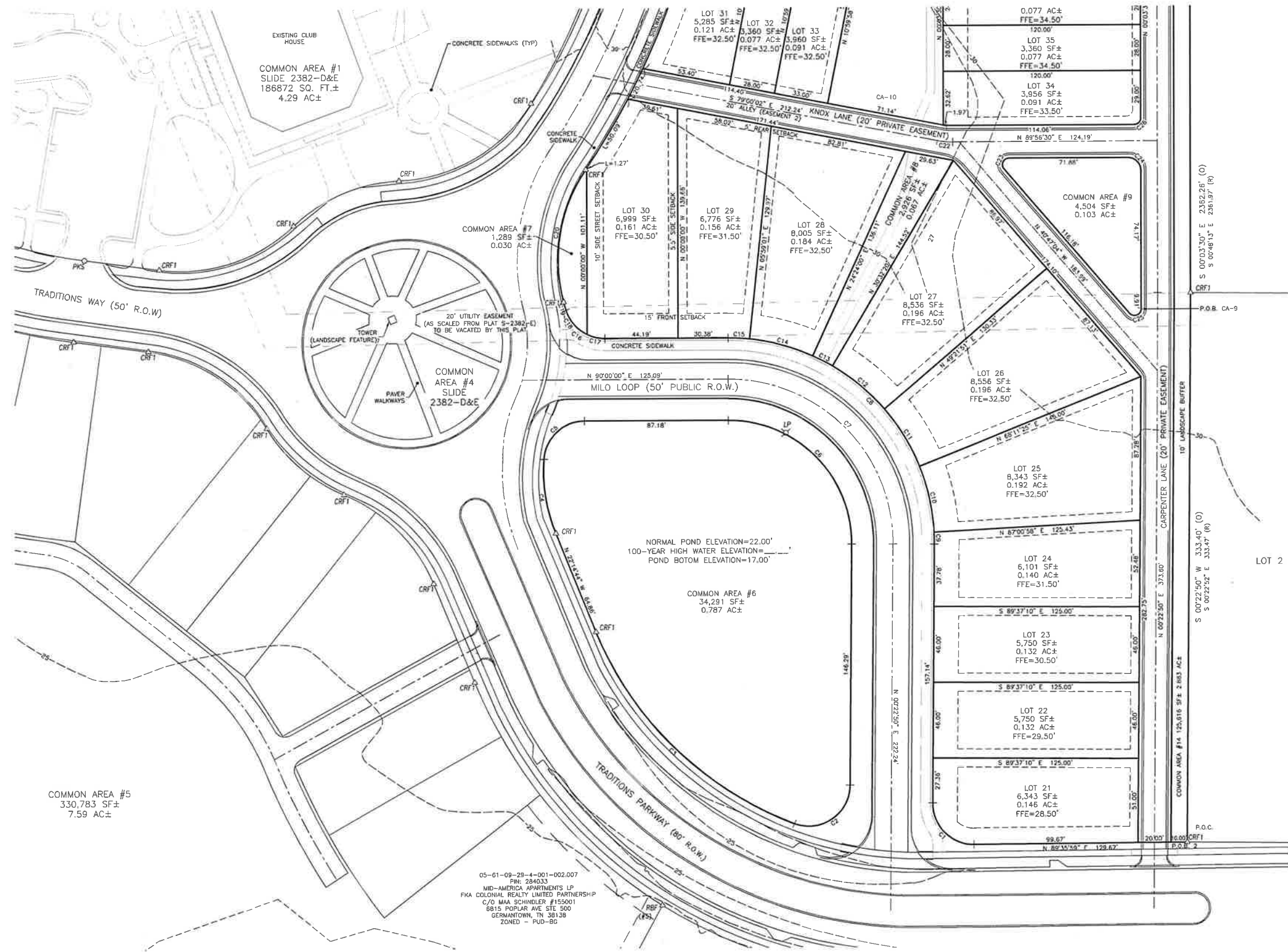
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Mailing Address: 36941 Mill Lane, Suite E, Gulf Shores, AL 36527 (251) 626-0404



05-61-09-29-4-001-001.000
PIN: 228663
ACADIAN VILLAGE OF GULF SHORES LLC
P.O. BOX 55054
BATON ROUGE, LA 70896
ZONED - BG

05-61-09-29-4-001-002.004
PIN: 284030
COLONIAL PROPERTIES SERVICES INC
C/O MAA SCHINDLER #410701
6815 POPLAR AVE. STE. 500
GERMANTOWN, TN 38138
ZONED - PUD-BG

- LEGEND
- CRF1 CAPPED IRON ROD FOUND
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 - CRF96 CAPPED IRON ROD FOUND
 - CRF97 CAPPED IRON ROD FOUND
 - CRF98 CAPPED IRON ROD FOUND
 - CRF99 CAPPED IRON ROD FOUND
 - CRF100 CAPPED IRON ROD FOUND

CURVE	ARC	LENGTH	RADIUS	CHORD	BEARING	CHORD	LENGTH
C1	35.51	25.00	N 45°00'00" E	35.51	W 35.51	35.51	35.51
C2	48.00	25.00	N 45°00'00" E	48.00	W 48.00	48.00	48.00
C3	127.85	210.00	N 45°00'00" E	127.85	W 127.85	127.85	127.85
C4	45.24	100.00	N 45°00'00" E	45.24	W 45.24	45.24	45.24
C5	37.44	75.00	N 45°00'00" E	37.44	W 37.44	37.44	37.44
C6	118.31	25.00	N 45°00'00" E	118.31	W 118.31	118.31	118.31
C7	157.24	100.00	N 45°00'00" E	157.24	W 157.24	157.24	157.24
C8	197.18	125.00	N 45°00'00" E	197.18	W 197.18	197.18	197.18
C9	3.94	125.00	N 45°00'00" E	3.94	W 3.94	3.94	3.94
C10	41.07	125.00	N 45°00'00" E	41.07	W 41.07	41.07	41.07
C11	41.07	125.00	N 45°00'00" E	41.07	W 41.07	41.07	41.07
C12	41.07	125.00	N 45°00'00" E	41.07	W 41.07	41.07	41.07
C13	13.59	125.00	N 45°00'00" E	13.59	W 13.59	13.59	13.59
C14	45.18	125.00	N 45°00'00" E	45.18	W 45.18	45.18	45.18
C15	13.05	125.00	N 45°00'00" E	13.05	W 13.05	13.05	13.05
C16	31.37	25.00	N 45°00'00" E	31.37	W 31.37	31.37	31.37
C17	11.18	25.00	N 45°00'00" E	11.18	W 11.18	11.18	11.18
C18	20.19	25.00	N 45°00'00" E	20.19	W 20.19	20.19	20.19
C19	5.24	25.00	N 45°00'00" E	5.24	W 5.24	5.24	5.24
C20	84.01	25.00	N 45°00'00" E	84.01	W 84.01	84.01	84.01
C21	267.47	450.00	N 45°00'00" E	267.47	W 267.47	267.47	267.47
C22	9.65	25.00	N 45°00'00" E	9.65	W 9.65	9.65	9.65
C23	9.13	4.00	N 45°00'00" E	9.13	W 9.13	9.13	9.13
C24	12.57	8.00	N 45°00'00" E	12.57	W 12.57	12.57	12.57
C25	9.65	4.00	N 45°00'00" E	9.65	W 9.65	9.65	9.65
C26	9.65	4.00	N 45°00'00" E	9.65	W 9.65	9.65	9.65
C27	9.65	4.00	N 45°00'00" E	9.65	W 9.65	9.65	9.65
C28	9.65	4.00	N 45°00'00" E	9.65	W 9.65	9.65	9.65
C29	9.65	4.00	N 45°00'00" E	9.65	W 9.65	9.65	9.65
C30	9.65	4.00	N 45°00'00" E	9.65	W 9.65	9.65	9.65
C31	149.88	250.00	N 45°00'00" E	149.88	W 149.88	149.88	149.88
C32	41.50	25.00	N 45°00'00" E	41.50	W 41.50	41.50	41.50
C33	5.35	25.00	N 45°00'00" E	5.35	W 5.35	5.35	5.35
C34	20.34	175.00	N 45°00'00" E	20.34	W 20.34	20.34	20.34
C35	21.61	200.00	N 45°00'00" E	21.61	W 21.61	21.61	21.61
C36	13.69	25.00	N 45°00'00" E	13.69	W 13.69	13.69	13.69
C37	13.69	25.00	N 45°00'00" E	13.69	W 13.69	13.69	13.69
C38	24.31	225.00	N 45°00'00" E	24.31	W 24.31	24.31	24.31
C39	33.71	25.00	N 45°00'00" E	33.71	W 33.71	33.71	33.71
C40	103.37	250.00	N 45°00'00" E	103.37	W 103.37	103.37	103.37

Colonial Traditions, Phase 2

A Resubdivision of Lot 3,
Colonial Traditions
Lots 21-30
Gulf Shores, Alabama

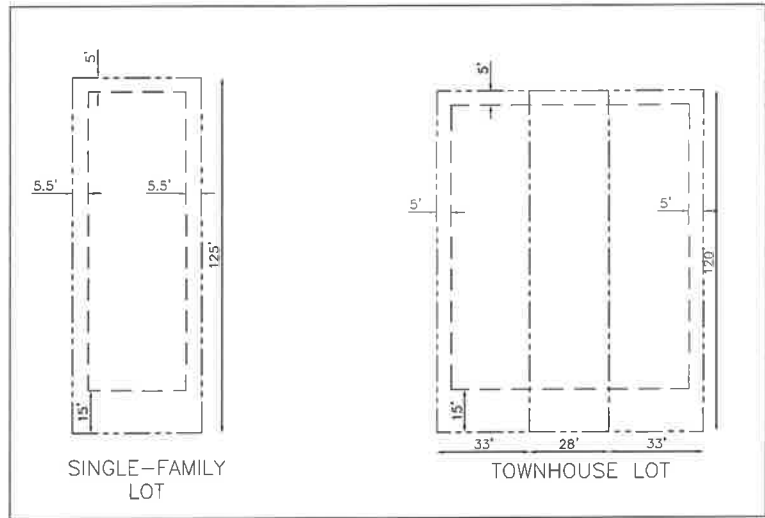
DESIGN	CHECKED	APPROVED	COLONIAL TRADITIONS - PHASE 2 LOTS 21-30 COLONIAL LOOP GULF SHORES, ALABAMA
TS	BAG	DDC	
DATE	SCALE		
9/23/21	1"=30'		
DRAWING NUMBER	FILE/PC		
21-417	138/37		



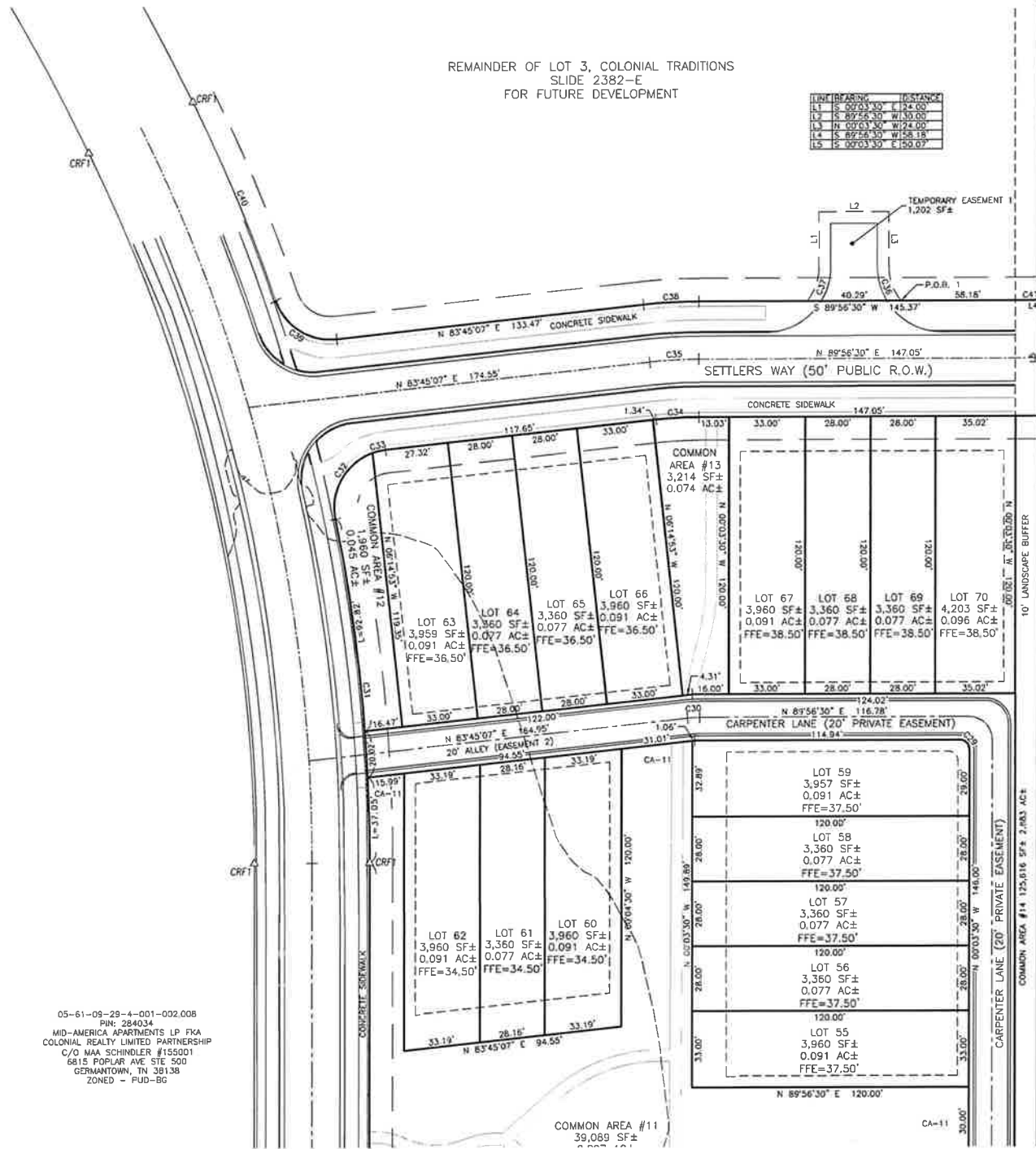
SMITH CLARK ASSOCIATES

Physical Address: 11111 U.S. Hwy 91 Suite E Spanish Fort, AL 36527 (251) 626-0404

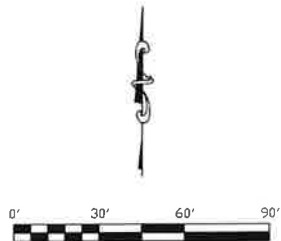
Mailing Address: 36941 Hill Lane Suite G, Box 258 Spanish Fort, AL 36527 (251) 626-0404



05-61-09-29-4-001-002.008
PIN: 284034
MID-AMERICA APARTMENTS LP FKA
COLONIAL REALTY LIMITED PARTNERSHIP
C/O MAA SCHINDLER #155001
6815 POPLAR AVE. STE 500
GERMANTOWN, TN 38138
ZONED - PUD-BG



LINE REFERENCE	DISTANCE
L1 S 00°03'30" E 124.00'	
L2 S 89°56'30" W 150.00'	
L3 N 00°03'30" E 124.00'	
L4 S 89°56'30" W 150.00'	
L5 S 00°03'30" E 124.00'	



- LEGEND
- △ CRF CAPPED IRON ROD FOUND
 - △ CRF1 CAPPED IRON ROD FOUND (NOLKENT, 088, #3)
 - △ CTF CRAMPED TOP PIPE FOUND
 - △ OTF OPEN TOP IRON PIPE FOUND
 - △ RBF REBAR IRON FOUND
 - △ PF IRON PIN FOUND
 - CRS CAPPED IRON ROD SET
 - LS LANDSCAPES AREA
 - (R) RECORD
 - (O) OBSERVED
 - R.O.W. RIGHT OF WAY
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING
 - UTD UNABLE TO DETERMINE
 - CHLN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE
 - LP LIGHT POLE
 - LP LIGHT POLE W/VAULT
 - PP POWER POLE
 - SV SANDWICH SEWER MANHOLE
 - SV SANDWICH SEWER VALVE
 - SV ELECTRICAL TRANSFORMER
 - SV ELECTRICAL VAULT
 - CM GAS METER
 - WM WATER METER
 - WM WATER VALVE
 - PH FIRE HYDRANT
 - IRV IRRIGATION VALVE
 - DTP TELEPHONE PEDESTAL
 - GI GRATED INLET
 - CI CURB INLET
 - DI STORM DRAIN MANHOLE

05-61-09-29-4-001-001.000
PIN: 228863
ACADIAN VILLAGE OF GULF SHORES LLC
P O BOX 65054
BATON ROUGE, LA 70896
ZONED - BG

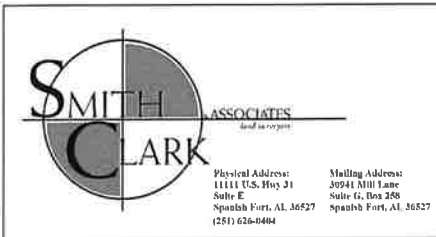
LINE	ARC LENGTH	BEARING	CHORD	BEARING	CHORD	BEARING	CHORD	BEARING	CHORD
C1	39.81	N 25.00° E	25.00	N 45°00'30" W	35.60				
C2	48.00	S 25.00° E	25.00	S 25°27'31" W	41.00				
C3	177.42	S 71.00° E	170.00	S 45°54'18" E	151.83				
C4	45.34	S 100.00° E	09°11'44" E	45.34					
C5	37.04	S 25.00° E	25.00	S 48°59'00" W	34.11				
C6	118.31	S 25.00° E	25.00	S 44°48'55" W	156.42				
C7	115.24	S 100.00° E	09°11'44" E	115.24					
C8	137.18	S 125.00° E	125.00	S 44°48'55" E	177.16				
C9	7.14	S 125.00° E	125.00	S 01°18'00" E	17.34				
C10	41.07	S 125.00° E	125.00	S 17°23'48" W	40.89				
C11	41.07	S 125.00° E	125.00	S 31°13'21" E	40.89				
C12	41.07	S 125.00° E	125.00	S 50°07'54" W	40.89				
C13	13.39	S 125.00° E	125.00	S 82°31'50" W	13.39				
C14	40.18	S 125.00° E	125.00	S 24°48'30" W	40.01				
C15	13.05	S 125.00° E	125.00	S 87°00'30" W	13.05				
C16	31.37	S 25.00° E	25.00	S 54°03'17" W	29.55				
C17	11.18	S 25.00° E	25.00	S 77°11'09" W	11.09				
C18	20.19	S 25.00° E	25.00	S 41°14'26" W	19.64				
C19	6.24	S 25.00° E	25.00	S 18°14'03" E	6.24				
C20	64.01	S 25.00° E	25.00	S 02°42'44" W	61.43				
C21	267.47	S 25.00° E	25.00	S 17°00'07" E	263.55				
C22	5.83	S 25.00° E	25.00	S 82°31'46" E	5.83				
C23	5.13	S 25.00° E	25.00	S 24°48'55" E	5.27				
C24	12.37	S 25.00° E	25.00	S 45°03'30" E	11.31				
C25	6.69	S 25.00° E	25.00	S 69°47'53" W	7.48				
C26	6.28	S 25.00° E	25.00	S 44°56'30" E	5.88				
C27	6.28	S 25.00° E	25.00	S 45°03'28" W	5.88				
C28	6.28	S 25.00° E	25.00	S 44°56'30" E	5.88				
C29	6.28	S 25.00° E	25.00	S 45°03'30" E	5.88				
C30	5.40	S 25.00° E	25.00	S 86°50'49" W	5.40				
C31	146.88	S 25.00° E	25.00	S 05°45'53" W	149.63				
C32	41.46	S 25.00° E	25.00	S 60°07'52" E	36.84				
C33	5.75	S 25.00° E	25.00	S 77°11'04" E	5.75				
C34	20.24	S 25.00° E	25.00	S 82°31'50" W	20.23				
C35	11.61	S 25.00° E	25.00	S 85°50'49" E	11.60				
C36	12.09	S 25.00° E	25.00	S 19°35'28" W	11.39				
C37	15.69	S 25.00° E	25.00	S 19°28'58" W	15.39				
C38	24.31	S 25.00° E	25.00	S 18°50'49" E	24.30				
C39	33.71	S 25.00° E	25.00	S 57°36'51" W	31.22				
C40	63.32	S 25.00° E	25.00	S 22°32'40" W	63.26				

Colonial Traditions, Phase 2

A Resubdivision of Lot 3,
Colonial Traditions
Lots 55-70
Gulf Shores, Alabama

DRAWN	CHECKED	APPROVED
TS	BAG	DDC
DATE	SCALE	
9/23/21	1"=30'	
DRAWING NUMBER	FILE NO.	
21-417	138/37	

COLONIAL TRADITIONS - PHASE 2
LOTS 55-70
COLONIAL LOOP
GULF SHORES, ALABAMA



COLONIAL TRADITIONS - PHASE 2

GULF SHORES, AL

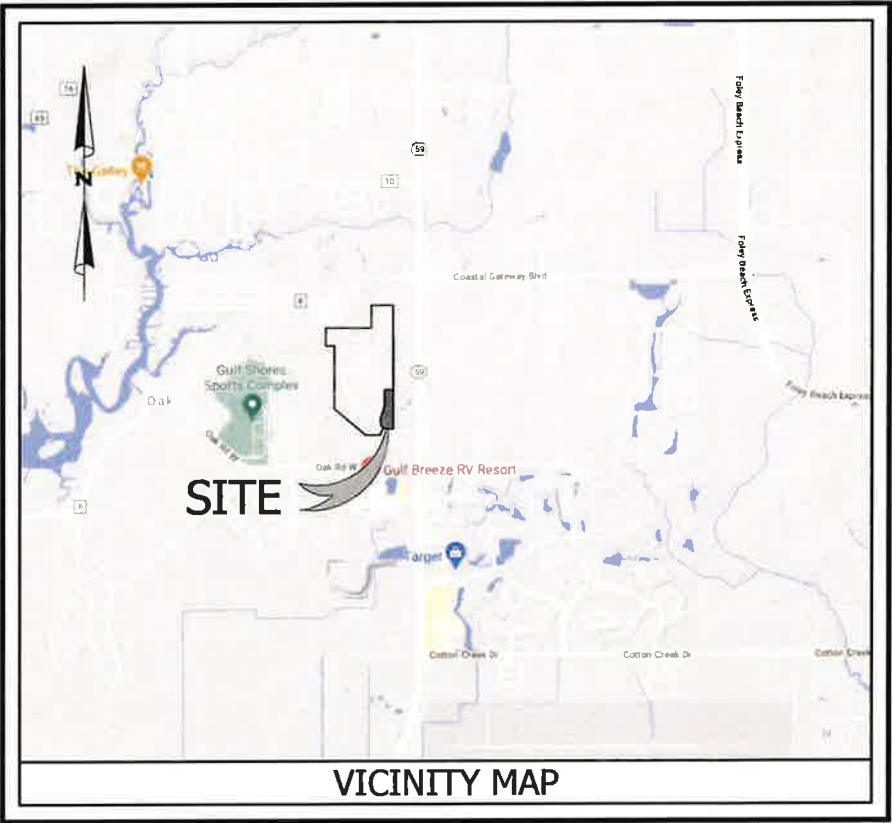
TRADITIONS WAY

GRADE, DRAIN, BASE AND PAVE
WATER DISTRIBUTION
SEWAGE COLLECTION SYSTEM

JANUARY 2022

INDEX TO SHEETS:

SHEET	DESCRIPTION
C1.0	COVER SHEET
C1.1-C1.4	PRELIMINARY PLAT
C2.0	EXISTING CONDITIONS/DEMOLITION PLAN
C3.0	GENERAL LAYOUT
C4.0-C4.1	TYPICAL ROADWAY SECTION
C5.0	ROADWAY ALIGNMENT PLAN
C5.1	FIRE ACCESS PLAN
C6.0	SITE PLAN
C7.0	UTILITY PLAN
C8.0	GRADING & DRAINAGE PLAN
C9.0	PLAN AND PROFILE - MILO LOOP & SETTLERS WAY
C10.0-C10.1	PLAN AND PROFILE - SANITARY SEWER NETWORK
C11.0-C11.4	PLAN AND PROFILE - STORM NETWORK
C12.0	EROSION CONTROL PLAN
C13.0-C13.1	EROSION CONTROL DETAILS
C14.0	CIVIL CONSTRUCTION NOTES
C15.0-C15.4	CIVIL CONSTRUCTION DETAILS
C16.0	TRAFFIC CONTROL PLAN
C17.0-C17.1	CROSS SECTION - MILO LOOP
C18.0	CROSS-SECTION - SETTLERS WAY
TP100-TP202	TREE PROTECTION PLAN
LP100-LP203	LANDSCAPE PLAN



VICINITY MAP

NOT TO SCALE

UTILITY INFORMATION

CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES
"LINE SPOTTED" BY CALLING 1-800-292-8925 (ALABAMA ONE-CALL)
OR BY CONTACTING LOCAL UTILITY COMPANIES

WATER/SEWER:	GULF SHORES UTILITIES 1629 EAST 1ST STREET, GULF SHORES, AL 36547 DOUGLAS BAILEY (251) 751-1691
POWER:	BALDWIN EMC 19600 STATE HIGHWAY 59, SUMMERDALE, AL 36580 MICHAEL MANNING (251) 989-0123
GAS:	RIVIERA UTILITIES 413 EAST LAUREL AVENUE, FOLEY, AL 36536 DANNY SCOTT (251) 943-5001

PREPARED FOR:

DILWORTH DEVELOPMENT, INC.
2124 MOORES MILL ROAD SUITE 130A
AUBURN, AL 36830
SAM LESLIE
(334) 821-6610

BENCHMARK INFORMATION:

TBM #1 - CAPPED REBAR
ELEV = 33.63'

NOTE:

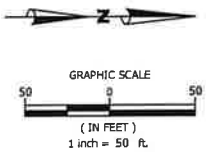
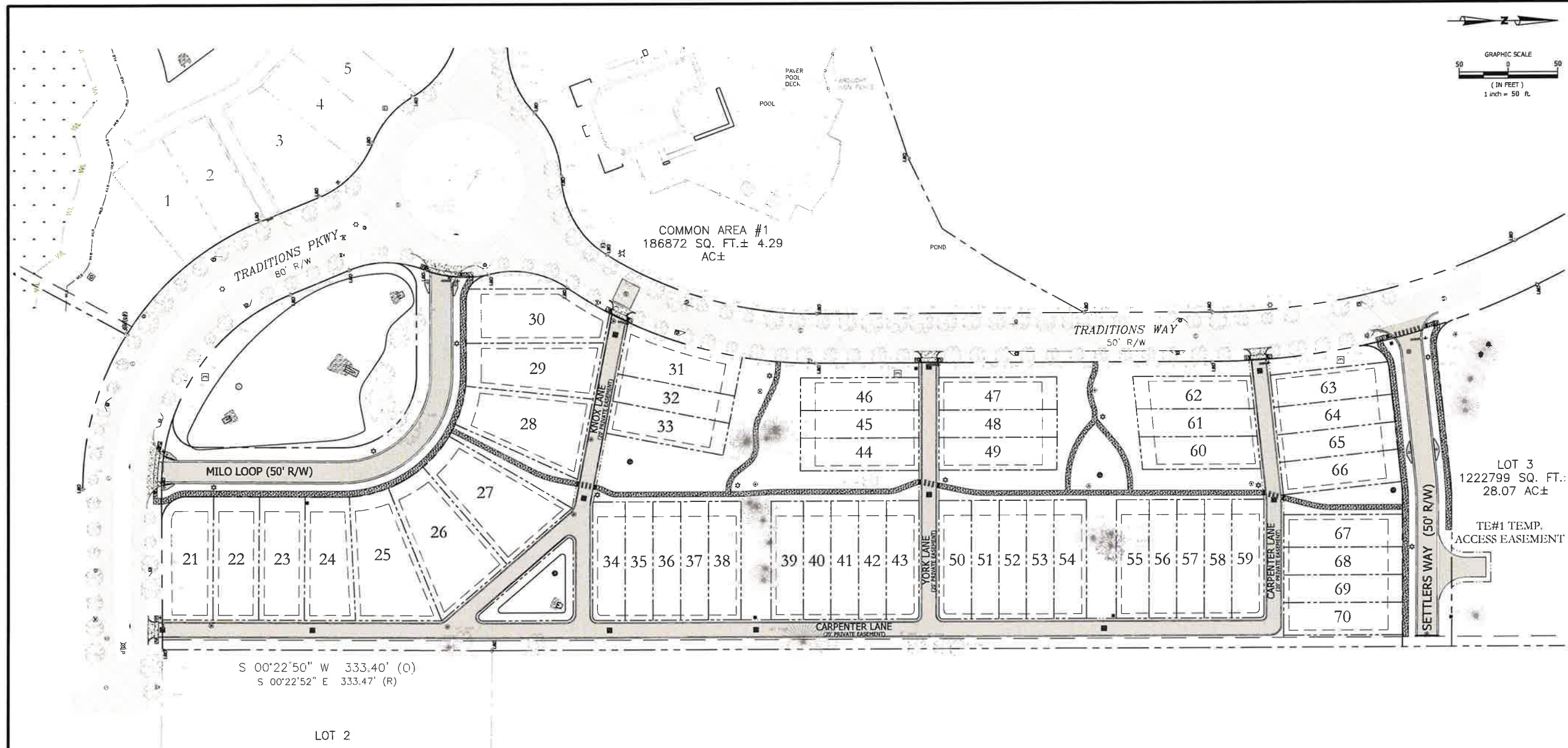
NO CONSTRUCTION AND/OR LAND DISTURBANCE, EXCEPT THOSE NECESSARY TO INSTALL THE
BMP'S, SHALL BEGIN ON THIS PROJECT UNTIL THE BMP PLAN HAS BEEN INSTALLED AND
APPROVED BY THE CITY/COUNTY.



Jinright & Associates Development Engineers
2108 Green Road North Fairhope, Alabama 36532
P.O. Box 1929 Fairhope, Alabama 36533
Phone: (251) 928-3443 Fax: (251) 928-3665
jadengineers.com (AL) CA-3157-15



COLONIAL TRADITIONS - PHASE 2
DILWORTH DEVELOPMENT, INC.



SITE DATA TABLE - PHASE 2	
STATE OF ALABAMA COUNTY OF BALDWIN CITY OF GULF SHORES	
TAX PARCEL ID:	05-61-09-29-4-001-002.005
EXISTING ZONING:	COLONIAL TRADITIONS PUD
TOTAL PUD ACREAGE:	180 ACRES
TOTAL PHASE ACREAGE:	9.51 ACRES
LOT DATA:	
PROPOSED LOTS:	50
PROPOSED NET DENSITY:	5.26 LOTS/AC
AVERAGE RES. LOT SIZE:	4,385 SF
SMALLEST RES. LOT SIZE:	3,360 SF
STREET DATA:	
RIGHT OF WAY WIDTH:	50'
LINEAR FEET OF NEW STREETS:	800 LF
SIDEWALK WIDTH:	6'
ALLEY DATA:	
ALLEY EASEMENT WIDTH:	20'
LINEAR FEET OF NEW ALLEYS:	2150 LF
BUILDING SETBACKS:	
LOTS 21-30	
FRONT:	15'
SIDE:	5.5' (10' STREET)
REAR:	5'
COMMON AREA REQUIREMENTS:	
TOTAL OPEN SPACE:	2.33 AC (24.5%)

LEGEND	
	BENCHMARK REBAR IRON FOUND CAPPED ROD FOUND CAPPED ROD SET POINT KNOWN NAIL SET RIGHT-OF-WAY CENTERLINE PROPERTY LINE PROPERTY LINE (ADJACENT) EXIST. EASEMENT LINE EXIST. UNDERGROUND ELECTRIC LINE EXIST. WATER LINE EXIST. SANITARY SEWER LINE EXIST. GAS LINE EXIST. WROUGHT IRON FENCE LINE EXIST. CHAINLINK FENCE LINE EXIST. PIPE PROPOSED EASEMENT LINE PROPOSED SETBACK LINE PROPOSED 12" CONCRETE CURB PROPOSED 24" CONCRETE CURB & GUTTER EXIST. ELECTRICAL VAULT EXIST. LIGHT POLE
	EXIST. ELECTRICAL METER EXIST. ELECTRICAL BOX EXIST. TELEPHONE PEDESTAL EXIST. WATER METER EXIST. WATER METER EXIST. WATER VALVE EXIST. FIRE HYDRANT EXIST. SANITARY SEWER MANHOLE EXIST. GAS VALVE EXIST. GAS LINE MARKER EXIST. GAS METER EXIST. STORM SEWER MANHOLE EXIST. ASPHALT PAVING EXIST. CONCRETE PROPOSED LIGHT DUTY ASPHALT PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH) PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)

CITY OF GULF SHORES NOTE:

- CITY OF GULF SHORES PUBLIC WORKS STAFF WILL INSPECT ALL EXISTING COLONIAL TRADITIONS INFRASTRUCTURE.
- ANY DEFICIENCIES NOTED WILL BE PROVIDED IN A LIST FROM THE CITY FOR CORRECTION.
- DEFICIENCIES SHALL BE CORRECTED PRIOR TO COLONIAL TRADITIONS PHASE 1 FINAL PLAT APPROVAL.

SIDEWALK & RAMP NOTES:

- ALL ADA RAMPS AND CROSSWALK STRIPING WITHIN THE R.O.W., AS WELL AS ALL SIDEWALKS SHALL BE CONSTRUCTED AT THIS TIME.

OPEN SPACE NOTE:

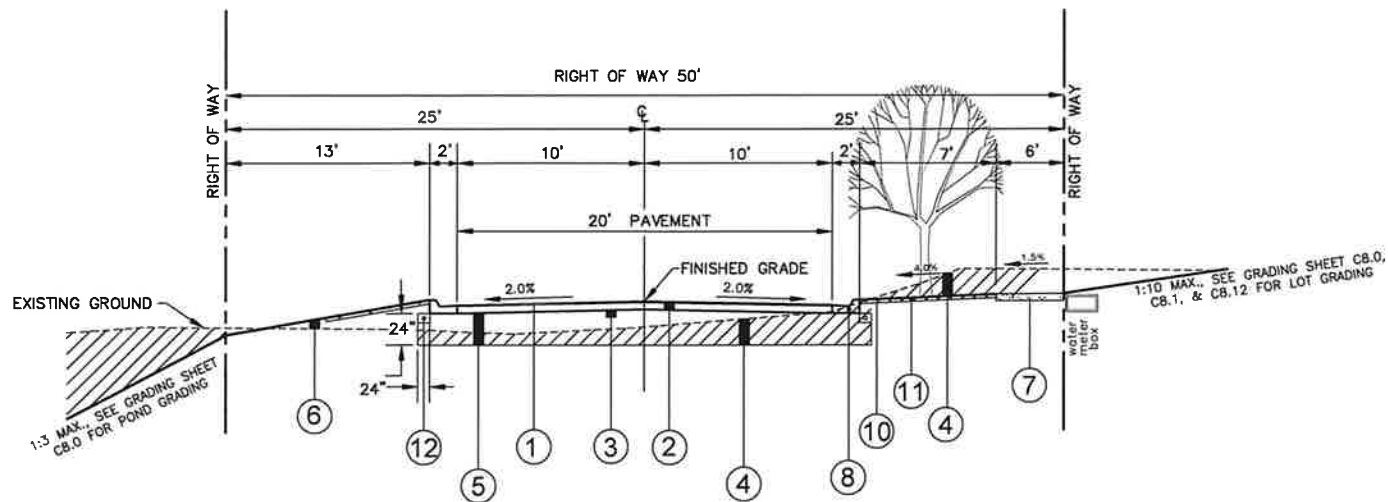
- PHASE 1 TOTAL ACREAGE IS 10.92 AC WITH 7.60 AC OPEN SPACE.
- TOTAL COMBINED ACREAGE INCLUDING PHASE 2 IS 20.43 AC WITH 9.93 AC (48.6%) PROVIDED OPEN SPACE.

206 Green Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1025
Fairhope, Alabama 36533
Phone (251) 928-3443
Fax (251) 928-3443
(313) 631-5733

NO.	REVISION	DATE	APPR.
1.		1/7/22	

GENERAL LAYOUT
COLONIAL TRADITIONS - PHASE 2
DILWORTH DEVELOPMENT, INC.

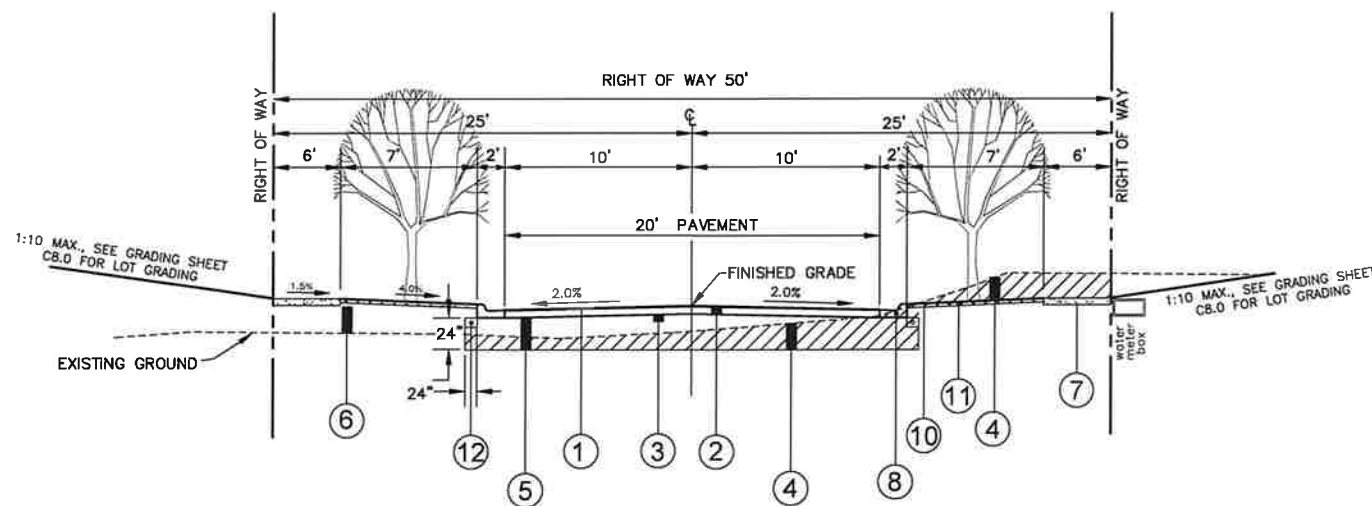
JOB NO: 1769.20
SCALE: 1" = 50'
DATE: JAN 2022
DRAFTER: WMG
SHEET: C3.0



TYPICAL ROADWAY SECTION

MILO LOOP STA 0+36 TO 4+80

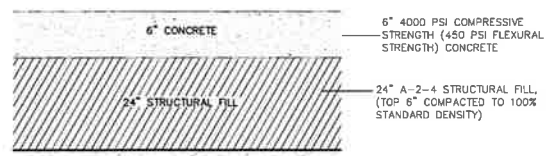
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TYPICAL ROADWAY SECTION

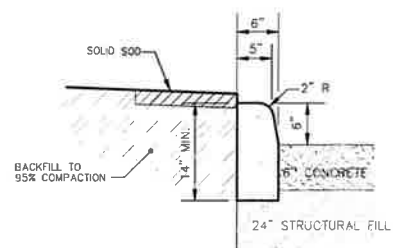
SETTLERS WAY STA 0+12 TO 3+33

(NOT TO SCALE)



CONCRETE APRON BUILDUP

- ITEM 424-A, SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER, $\frac{3}{4}$ " MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE B, (220 LB/SY) (PER SQ. YD.)
- ITEM 825-A, CRUSHED AGGREGATE BASE COURSE, TYPE A, PLANT MIXED, 6" MINIMUM COMPACTED THICKNESS, SHALL EXTEND 2' MINIMUM BEYOND BACK OF RIBBON CURB (PER SQ. YD.)
- ITEM 230-A, IMPROVED ROADBED PROCESSING (PER STATION)
- ITEM 210-A, UNCLASSIFIED EXCAVATION (PER CU. YD. IN PLACE)
- ITEM 210-D, BORROW EXCAVATION, A-2-4 STRUCTURAL FILL (24" THICK MIN.) (PER CU. YD. IN PLACE) AS REQUIRED BY GEOTECHNICAL ENGINEER REPORT DL 2867-21
- ITEM 210-D, BORROW EXCAVATION, SELECT FILL FROM ON-SITE CUTS (PER CU. YD. IN PLACE) AS REQUIRED BY GEOTECHNICAL ENGINEER REPORT DL 2867-21
- ITEM 618-A, CONCRETE SIDEWALK, 6' WIDE, 4" THICKNESS, MINIMUM 3,000 PSI (PER SQ. YD.)
- ITEM 623-A, CONCRETE COMBINATION CURB & GUTTER, 24" WIDE (PER LINEAR FT.)
- ITEM 623-C, 12" RIBBON CURB (PER LINEAR FT.)
- ITEM 650-B, TOPSOIL FROM STOCKPILES, MINIMUM 4" COMPACTED THICKNESS (PER CU. YD.)
- ITEM 654-A, SOLID SODDING (PER SQ. YD.)
- ITEM 606-A, 6" PVC UNDERDRAIN (PER LINEAR FT.)

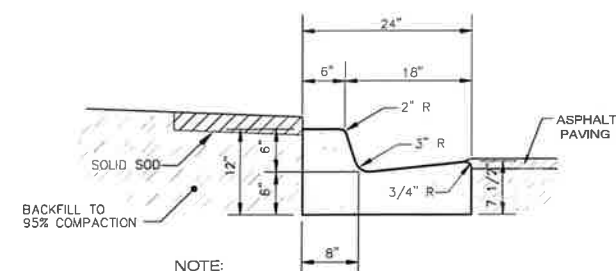


NOTE:

- CURB TO BE PLACED BY SLIP FORM METHOD OR APPROVED EQUAL.
- TRAVERSE JOINTS TO BE FORMED IN CONCRETE INTEGRAL CURB DIRECTLY OVER EACH TRAVERSE JOINT IN PAVING OR GUTTER.
- CONTRACTION JOINTS TO BE PLACED AT 10' INTERVALS AND EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS.
- GRADING AND SOD PLACEMENT SHALL BE INSTALLED TO ENSURE POSITIVE SURFACE WATER DRAINAGE OVER TOP OF CURB.
- EXPANSION JOINTS: USE PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 (OR APPROVED EQUAL)

6" CONCRETE HEADER CURB
(OR APPROVED EQUAL)

NTS



NOTE:

- CURB TO BE PLACED BY SLIP FORM METHOD OR APPROVED EQUAL.
- TRAVERSE JOINTS TO BE FORMED IN CONCRETE INTEGRAL CURB DIRECTLY OVER EACH TRAVERSE JOINT IN PAVING OR GUTTER.
- CONTRACTION JOINTS TO BE PLACED AT 10' INTERVALS AND EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS. ADDITIONALLY EXPANSION JOINTS TO BE PROVIDED AT ALL CURB PCS, PTS, AND AROUND ALL STRUCTURES.
- GRADING AND SOD PLACEMENT SHALL BE INSTALLED TO ENSURE POSITIVE SURFACE WATER DRAINAGE OVER TOP OF CURB.
- EXPANSION JOINTS: USE PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 (OR APPROVED EQUAL).

CONCRETE CURB AND GUTTER

NTS

CONCRETE NOTE:

CONCRETE FOR ALL CURBS SHALL BE MIN. 3,000 PSI.

TYPICAL SECTION NOTES:

- SUBGRADE SOILS BELOW THE ROADWAYS AND 2' BEYOND THE PAVEMENT OR CURB LINE SHALL BE UNDERCUT TO DEPTH SPECIFIED IN GEOTECHNICAL REPORT.
- THE FULL WIDTH OF THE TYPICAL SECTION, FROM TIE POINT TO TIE POINT, SHALL BE GRADED AND PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION WITH CITY OF GULF SHORES.
- FOR MILO LOOP AND SETTLERS WAY SOLID SOD SHALL BE PROVIDED BETWEEN SIDEWALK AND BACK OF CURB.
- ALLEYS SHALL HAVE ONE STRIP OF SOLID SOD SHALL BE PROVIDED ALONG BACK OF CONCRETE CURB.
- EXPANSION JOINT MATERIAL SHALL BE PROVIDED AT ALL RADII POINTS ALONG THE CONCRETE CURB.
- RECYCLED CRUSHED CONCRETE THAT ORIGINATES FROM AN APPROVED SOURCE AND MEETS THE GRADATION REQUIREMENTS OF ALDOT SEC. 825 MAY BE USED FOR CRUSHED AGGREGATE BASE.

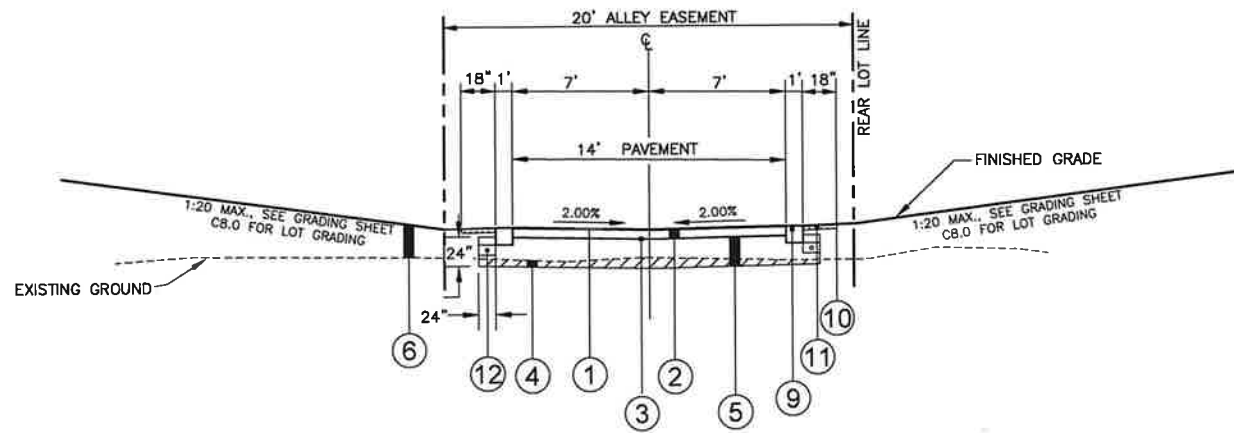
ALL GRADING AND PAVING SHALL CONFORM WITH GEOTECH REPORT PROVIDED BY GEOCON ENGINEERING & MATERIALS TESTING, INC. DATED AUG. 10, 2021 PROJECT NO. DL 2867-21.

NO.	REVISION	CITY COMMENTS	DATE	APPR.
1.			1/7/22	

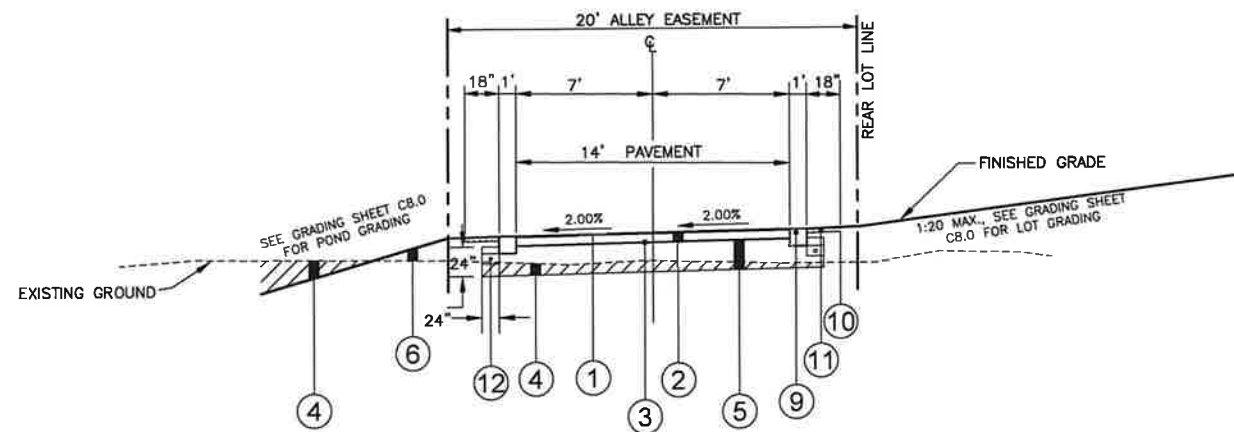
TYPICAL ROADWAY SECTION
COLONIAL TRADITIONS - PHASE 2
DILWORTH DEVELOPMENT, INC.

JOB NO: 1769.20
SCALE: N/A
DATE: JAN 2022
DRAFTER: WMG
SHEET:

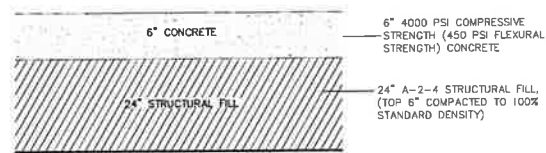
C4.0



TYPICAL ALLEY SECTION
CARPENTER LANE STA 0+36 TO 3+39 & 4+66 TO 14+34
KNOX LANE STA 0+25 TO 2+13
YORK LANE STA 0+24 TO 2+95
(NOT TO SCALE)



TYPICAL ALLEY SECTION
CARPENTER LANE STA 3+39 TO 4+66
KNOX LANE STA 2+13 TO 3+46
ALLEY 7 STA 0+00 TO 1+84
(NOT TO SCALE)



CONCRETE APRON BUILDUP

CONCRETE NOTE:

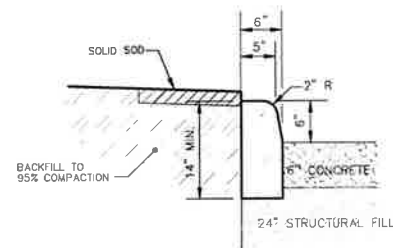
CONCRETE FOR ALL CURBS SHALL BE MIN. 3,000 PSI.

TYPICAL SECTION NOTES:

1. SUBGRADE SOILS BELOW THE ROADWAYS AND 2' BEYOND THE PAVEMENT OR CURB LINE SHALL BE UNDERCUT TO DEPTH SPECIFIED IN GEOTECHNICAL REPORT.
2. THE FULL WIDTH OF THE TYPICAL SECTION, FROM TIE POINT TO TIE POINT, SHALL BE GRADED AND PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION WITH CITY OF GULF SHORES.
3. FOR MILO LOOP AND SETTLERS WAY SOLID SOD SHALL BE PROVIDED BETWEEN SIDEWALK AND BACK OF CURB.
4. ALLEYS SHALL HAVE ONE STRIP OF SOLID SOD SHALL BE PROVIDED ALONG BACK OF CONCRETE CURB.
5. EXPANSION JOINT MATERIAL SHALL BE PROVIDED AT ALL RADII POINTS ALONG THE CONCRETE CURB.
6. RECYCLED CRUSHED CONCRETE THAT ORIGINATES FROM AN APPROVED SOURCE AND MEETS THE GRADATION REQUIREMENTS OF ALDOT SEC. 825 MAY BE USED FOR CRUSHED AGGREGATE BASE.

ALL GRADING AND PAVING SHALL CONFORM WITH GEOTECH REPORT PROVIDED BY GEOCON ENGINEERING & MATERIALS TESTING, INC. DATED AUG. 10, 2021 PROJECT NO. DL 2867-21.

- ① ITEM 424-A, SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER, $\frac{3}{4}$ " MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE B, (220 LB/SY) (PER SQ. YD.)
- ② ITEM 825-A, CRUSHED AGGREGATE BASE COURSE, TYPE A, PLANT MIXED, 6" MINIMUM COMPACTED THICKNESS, SHALL EXTEND 2' MINIMUM BEYOND BACK OF RIBBON CURB (PER SQ. YD.)
- ③ ITEM 230-A, IMPROVED ROADBED PROCESSING (PER STATION)
- ④ ITEM 210-A, UNCLASSIFIED EXCAVATION (PER CU. YD. IN PLACE)
- ⑤ ITEM 210-D, BORROW EXCAVATION, A-2-4 STRUCTURAL FILL (24" THICK MIN.) (PER CU. YD. IN PLACE) AS REQUIRED BY GEOTECHNICAL ENGINEER REPORT DL 2867-21
- ⑥ ITEM 210-D, BORROW EXCAVATION, SELECT FILL FROM ON-SITE CUTS (PER CU. YD. IN PLACE) AS REQUIRED BY GEOTECHNICAL ENGINEER REPORT DL 2867-21
- ⑦ ITEM 618-A, CONCRETE SIDEWALK, 6" WIDE, 4" THICKNESS, MINIMUM 3,000 PSI (PER SQ. YD.)
- ⑧ ITEM 623-A, CONCRETE COMBINATION CURB & GUTTER, 24" WIDE (PER LINEAR FT.)
- ⑨ ITEM 623-C, 12" RIBBON CURB (PER LINEAR FT.)
- ⑩ ITEM 650-B, TOPSOIL FROM STOCKPILES, MINIMUM 4" COMPACTED THICKNESS (PER CU. YD.)
- ⑪ ITEM 654-A, SOLID SODDING (PER SQ. YD.)
- ⑫ ITEM 606-A, 6" PVC UNDERDRAIN (PER LINEAR FT.)

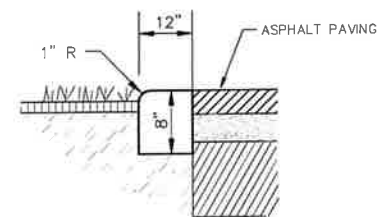


NOTE:

1. CURB TO BE PLACED BY SLIP FORM METHOD OR APPROVED EQUAL.
2. TRAVERSE JOINTS TO BE FORMED IN CONCRETE INTEGRAL CURB DIRECTLY OVER EACH TRAVERSE JOINT IN PAVING OR GUTTER.
3. CONTRACTION JOINTS TO BE PLACED AT 10' INTERVALS AND EXPANSION JOINTS TO BE PLACED AT 50' INTERVALS.
4. GRADING AND SOD PLACEMENT SHALL BE INSTALLED TO ENSURE POSITIVE SURFACE WATER DRAINAGE OVER TOP OF CURB.
5. EXPANSION JOINTS: USE PREMOULDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 (OR APPROVED EQUAL)

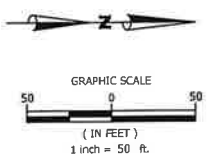
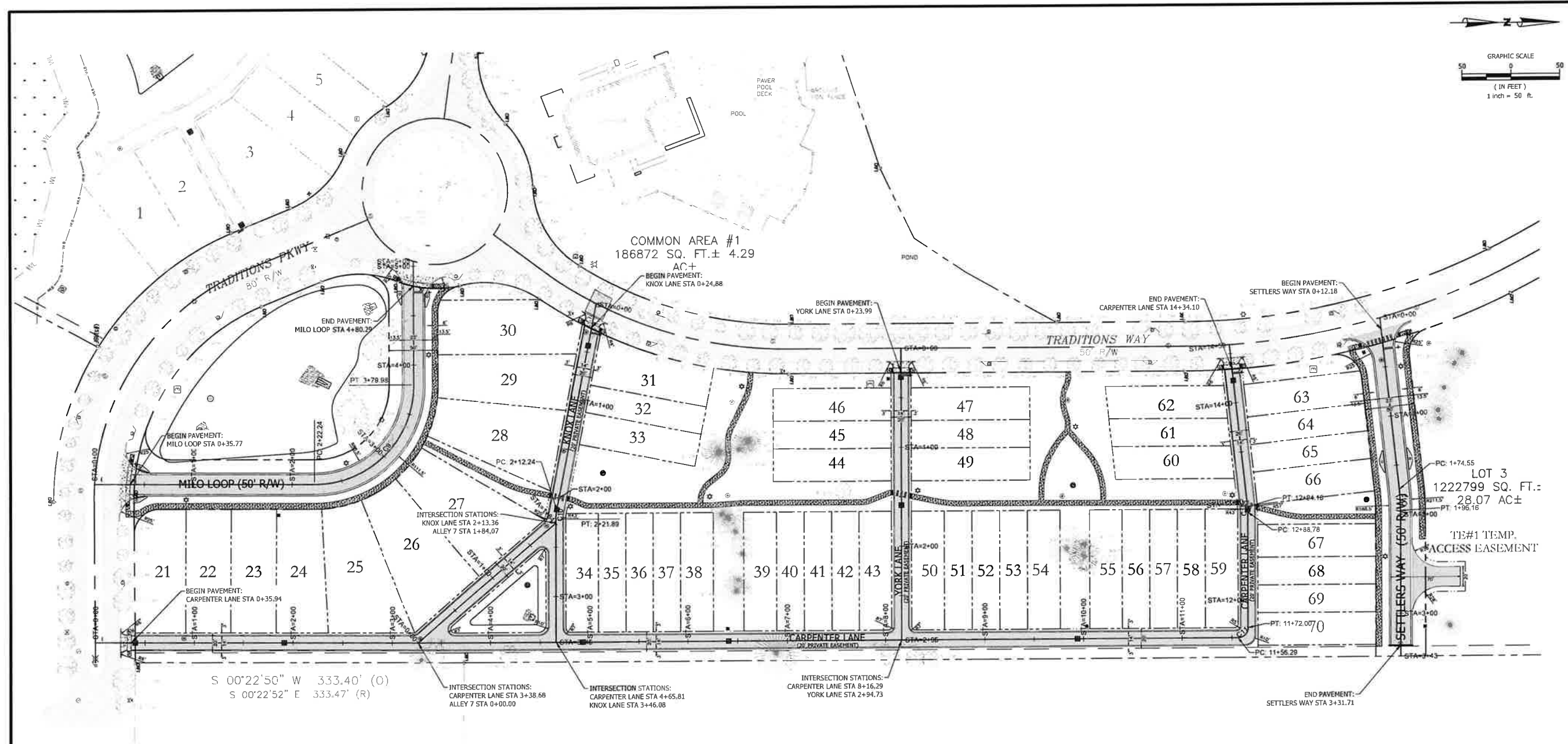
**6" CONCRETE HEADER CURB
(OR APPROVED EQUAL)**

NTS



12" RIBBON CURB

NO.	REVISION	DATE	APPR.
1.	CITY COMMENTS	1/17/22	



DIMENSION NOTE:
1. DIMENSIONS ARE TO THE FACE OF CURB
UNLESS OTHERWISE NOTED.

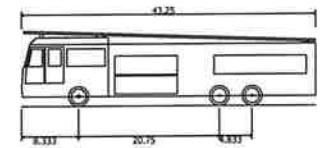
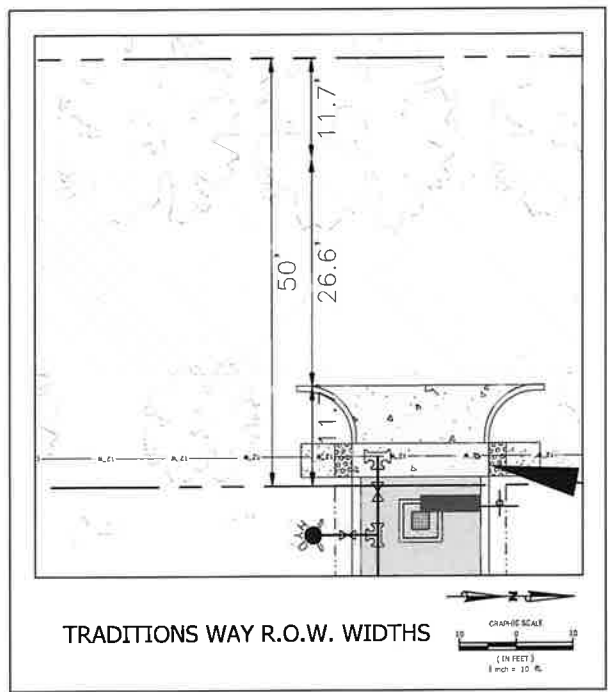
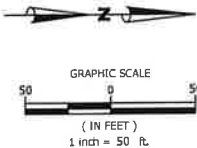
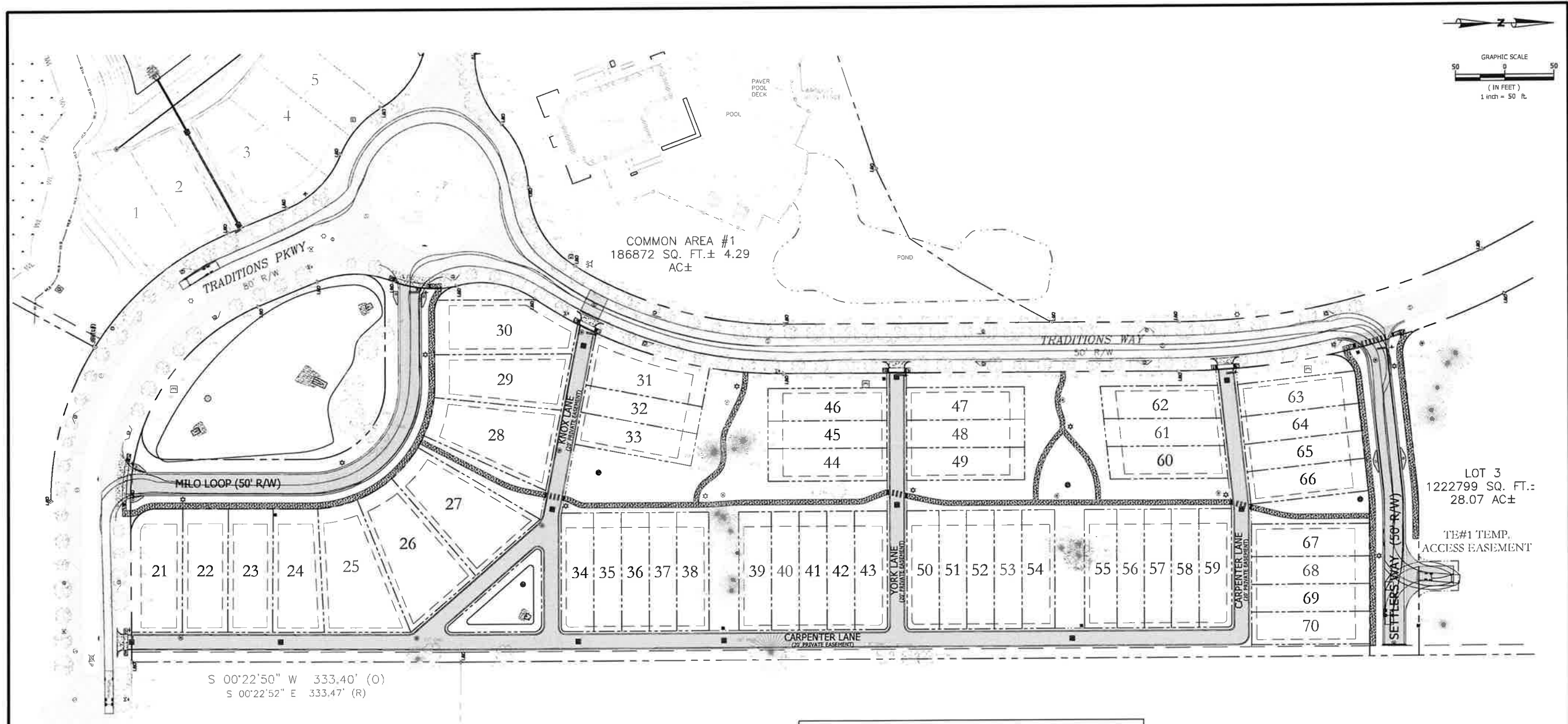
ALIGNMENT CURVE DATA								
CURVE #	RADIUS	DELTA ANGLE	CHORD LENGTH	CHORD BEARING	ARC LENGTH	TANGENT	PC STATION	PT STATION
C9	100.00'	90°22'50"	141.89'	N44°48'35.16"W	157.74'	100.67'	2+22.24	3+79.98
C10	50.00'	11°03'27"	9.63'	S84°31'45.88"E	9.65'	4.84'	2+12.24	2+21.89
C11	10.00'	90°00'00"	14.14'	N45°03'28.63"W	15.71'	10.00'	11+56.29	11+72.00
C12	50.00'	6°11'24"	5.40'	S86°50'48.51"W	5.40'	2.70'	12+88.78	12+94.18
C13	200.00'	6°11'24"	21.60'	N86°50'48.51"E	21.61'	10.81'	1+74.55	1+96.16

208 Green Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 228-3443
jadesurvey.com
(A/E/C) 153545

NO.	REVISION	DATE	APPR.
	CITY COMMENTS		
1.		1/7/22	

ROADWAY ALIGNMENT PLAN
COLONIAL TRADITIONS - PHASE 2
DILWORTH DEVELOPMENT, INC.

JOB NO: 1769.20
SCALE: 1" = 50'
DATE: JAN 2022
DRAFTER: WMG
SHEET: C5.0



E-ONE Heavy Walkin Rescue
Overall Length 43.250ft
Overall Width 8.333ft
Overall Body Height 11.000ft
Min Body Ground Clearance 1.393ft
Track Width 8.333ft
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°

208 Greene Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 928-3443
jademengr.com
(313) 753-1571

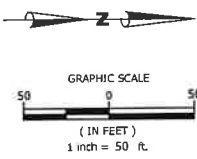
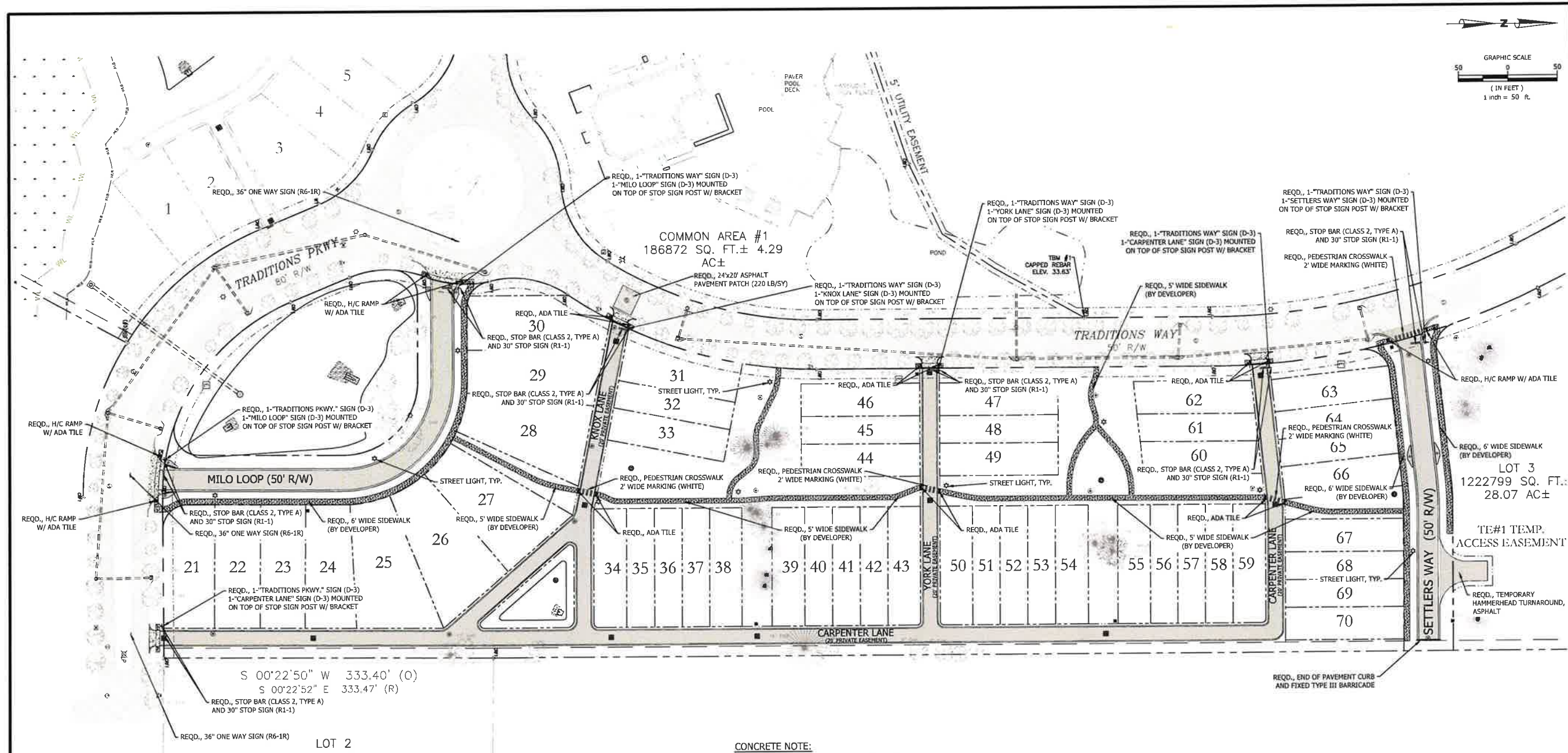
NO.	REVISION	DATE	APPR.
1.		1/7/22	

FIRE ACCESS PLAN

COLONIAL TRADITIONS - PHASE 2

DILWORTH DEVELOPMENT, INC.

JOB NO: 1769.20
SCALE: 1" = 50'
DATE: JAN 2022
DRAFTER: WMG
SHEET: C5.1



JADE
CONSULTING

288 Green Rd. North, Ste. C
Fairhope, Alabama 36532
P.O. Box 1929
Fairhope, Alabama 36533
Phone: (251) 726-3443
Fax: (251) 726-3443
(313) 726-3443



NO.	REVISION	DATE	APPR.
1.	CITY COMMENTS	1/7/22	

- CONCRETE NOTE:**
- CONCRETE FOR ALL CURB SHALL BE MIN. 3,000 PSI.
 - REMOVE AND REPLACE ALL EXISTING 4" SIDEWALK SECTIONS AT JOINTS.

- STRIPING NOTE:**
- ALL STOP BARS SHALL BE WHITE, CLASS 2, TYPE A, THERMOPLASTIC MARKINGS.



POSTED SPEED LIMIT (R2-1)



- SIGNAGE NOTES:**
- PROPER SIGNAGE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AS ADOPTED BY THE ALDOT SHALL BE INSTALLED PRIOR TO RECEIVING FINAL PLAT APPROVAL, AND MAINTAINED IN ALL SUBDIVISIONS, UNTIL SUCH TIME AS ROADS ARE ACCEPTED FOR MAINTENANCE BY THE CITY OF GULF SHORES PLANNING COMMISSION. ALL PROPOSED SIGNAGE SHALL BE SHOWN AND DETAILED ON THE CONSTRUCTION PLANS. THE FOLLOWING MINIMUM STANDARDS SHALL BE ADHERED TO:
- R1-1 STOP SIGN - DIAMOND GRADE- MINIMUM 0.080" THICK
30" FOR ALL INTERNAL STREET INTERSECTIONS
 - 36" FOR ALL INTERSECTIONS WITH EXISTING COUNTY, STATE AND FEDERAL ROADS;
STREET NAME SIGN - 9" ALUMINUM EXTRUDED BLADE, HIGH INTENSITY PRISMATIC,
6" TALL WHITE CAPITAL AND 5" TALL LOWER CASE LETTERING ON GREEN BACKGROUND
BRACKETS - VULCAN TYPE VS-8 VANDAL PROOF OR APPROVED EQUIVALENT;
 - ALL OTHER SIGNS - HIGH INTENSITY PRISMATIC OR BETTER - MINIMUM 0.080" THICK;
POSTS FOR STREET SIGNS - #2 GALVANIZED U-CHANNEL (MINIMUM LENGTH 12 FEET) OF
APPROPRIATE HEIGHT EMBEDDED NOT LESS THAN 3 FEET BELOW THE FINISHED GRADE
ELEVATION, COMPLYING WITH MINIMUM 7 FOOT CLEARANCE BETWEEN GRADE LEVEL AND
THE BOTTOM OF THE SIGN. IN NO CASE SHALL THE STREET SIGN BE ATTACHED DIRECTLY
TO THE STOP SIGN, BUT INSTEAD IT MUST BE ATTACHED TO THE POST OF THE STOP SIGN
ON A SEPARATE BRACKET. NO DECORATIVE SIGN POSTS SHALL BE PERMITTED.
 -



LEGEND	
	BENCHMARK
	REBAR IRON FOUND
	CAPPED ROD FOUND
	CAPPED ROD SET
	POINT KNOWN NAIL SET
	RIGHT-OF-WAY
	CENTERLINE
	PROPERTY LINE
	PROPERTY LINE (ADJACENT)
	EXIST. EASEMENT LINE
	EXIST. UNDERGROUND ELECTRIC LINE
	EXIST. WATER LINE
	EXIST. SANITARY SEWER LINE
	EXIST. GAS LINE
	EXIST. WROUGHT IRON FENCE LINE
	EXIST. CHAINLINK FENCE LINE
	EXIST. PIPE
	PROPOSED EASEMENT LINE
	PROPOSED SETBACK LINE
	PROPOSED 12" CONCRETE CURB
	PROPOSED 24" CONCRETE CURB & GUTTER
	EXIST. ELECTRICAL VAULT
	EXIST. LIGHT POLE
	EXIST. ELECTRICAL METER
	EXIST. ELECTRICAL BOX
	EXIST. TELEPHONE PEDESTAL
	EXIST. WATER METER
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. SANITARY SEWER MANHOLE
	EXIST. GAS VALVE
	EXIST. GAS LINE MARKER
	EXIST. GAS METER
	EXIST. STORM SEWER MANHOLE
	EXIST. ASPHALT PAVING
	EXIST. CONCRETE
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED LIGHT DUTY CONCRETE (BROOM FINISH)
	PROPOSED HEAVY DUTY CONCRETE (BROOM FINISH)

SITE PLAN
COLONIAL TRADITIONS - PHASE 2
DILLWORTH DEVELOPMENT, INC.

JOB NO:	1769.20
SCALE:	1" = 50'
DATE:	JAN 2022
DRAFTER:	WMG
SHEET:	C6.0